



Certificate of Compliance – Zoning Permit

	Date: <input style="width: 100%;" type="text"/>
Applicant: <input style="width: 100%;" type="text"/>	
Project Address: <input style="width: 100%;" type="text"/>	
Reviewed: Application Completeness: ___ Zoning Compliance: ___ Engineering: ___	

I hereby request the following consideration (check all that apply): *See Appendix A or E for additional requirements*

- Occupancy or Use of Vacant Land: new use change of use grading or excavation subdivision site plan
- New Construction: Main use - Residential Commercial Industrial
 - Accessory Structure: Deck Garage/Shed or Swimming Pool or Hot Tub
- Additions: Housing Unit or Commercial or Industrial
- Driveway Parking Lot Patio Retaining walls Sidewalk
- Fence Permit Sign Permit: Replacement or New Construction
- Utility Structure: Small or Large Oil, Gas, or Brine Wells
- Repairs or Maintenance items: EFIS Porch Repair Roofing Siding Waterproofing Window Replacement
- Demolition: Residential Commercial or Industrial
- Other: Board of Zoning Appeals Conditional Use Permit Temporary Structure/Use Preliminary-Final Plat Rezoning

Describe the purpose of the application: see list above – be specific

PROPERTY INFORMATION:

Property Information: (check one)	<input type="checkbox"/> Residential Use <input type="checkbox"/> Commercial Use <input type="checkbox"/> Industrial Use <input type="checkbox"/> Mixed Use		
Detail concerning property:			
Does the lot have existing structures? Yes <input type="checkbox"/> No <input type="checkbox"/>		Describe existing structures on lot	
If yes, how many presently:			
Parcel #:	Zoning District:		
Current or Previous Use:			
Flood Hazard Designated Area: <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, additional regulations may apply.			
City Engineer shall record the flood level elevation:			
Riparian Setback Area: <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, complete form associated with riparian setbacks.			
Check if you will be connecting into the following utilities: <input type="checkbox"/> Electric <input type="checkbox"/> Storm Sewer <input type="checkbox"/> Water Line <input type="checkbox"/> Sanitary Sewer			
Square footage of project:	Site Improvement Costs:	Construction Costs:	
Please select one if applicable: Design Review District: and/or Historic Preservation District:	<input type="checkbox"/>	Richmond Street	<input type="checkbox"/>
	<input type="checkbox"/>	Bank Street	<input type="checkbox"/>
	<input type="checkbox"/>	Railroad Street	<input type="checkbox"/>
Certificate of Appropriateness Application required;			

<input type="checkbox"/> Applicant / <input type="checkbox"/> Owner Information: signature of individual required			
Name:			
Address:	City:	State:	Zip:
Phone:	Email:		
Signature:			Date:
<input type="checkbox"/> Applicant / <input type="checkbox"/> Owner Information: signature of individual required			
Name:			
Address:	City:	State:	Zip:
Phone:	Email:		
Signature:			Date:

The Applicant/Owner hereby makes application to install/replace a Driveway as specified herein and as shown on the submitted or attached drawing, and does agree to comply with the provisions of the City of Painesville Code of Ordinances, and Engineering Standards whether the same is specified herein or not.

INSTRUCTIONS: Submit an application, site plan drawings and any supplemental information that may be required to assure compliance with the various regulations contained in City of Painesville Code of Ordinances and site development standards including Driveway and Driveway Apron Standards of the Painesville City Engineer. Apron and sidewalk paving within the right-of-way requires a permit, in accordance with Painesville Code of Ordinances, issued by the Engineering Department. Driveway and driveway apron construction shall conform to the attached standards detail. FEE: \$45 (Zoning Fee) TO BE SUBMITTED AT THE TIME OF APPLICATION.

Drawings must include a site plan, which indicates the following:

- Property lines and location of all buildings and/or structures
- Dimensions of the driveway in relation to: property lines; the right-of-way of any street abutting the lot; and the width of the driveway at the right of way line. Maximum width at the right-of-way is 20 feet.
- Direction of intended drainage on the pavement and the adjoining grade. Drainage should be graded to minimize standing water and shall not drain onto adjoining properties.

NOTE:

- **Minimum 4" thick concrete for sidewalks, 6" thick concrete for the portions that are through driveways, on a minimum 4" thick stone base; driveways, 6" thick for aprons, on a minimum 4" thick stone base.**
 - Asphalt overlays over existing concrete sidewalks or aprons are PROHIBITED.
- A registered surveyor or the property owner may prepare the site plan or the sample site plan may be used when all buildings are shown and the location of the driveway references the dimensions to lot lines and buildings.

APRON/DRIVEWAY and/or SIDEWALK INFORMATION:

New Driveway Addition to Existing Driveway Remove & Replace Driveway Sidewalk New Apron

Paving Material: Concrete Asphalt Stone (Residential Driveways ONLY)

Paving Thickness: _____ Driveway _____ Apron _____ Sidewalk **Stone Base Thickness:** _____ Driveway _____ Apron _____ Sidewalk

Complete Application Determination.

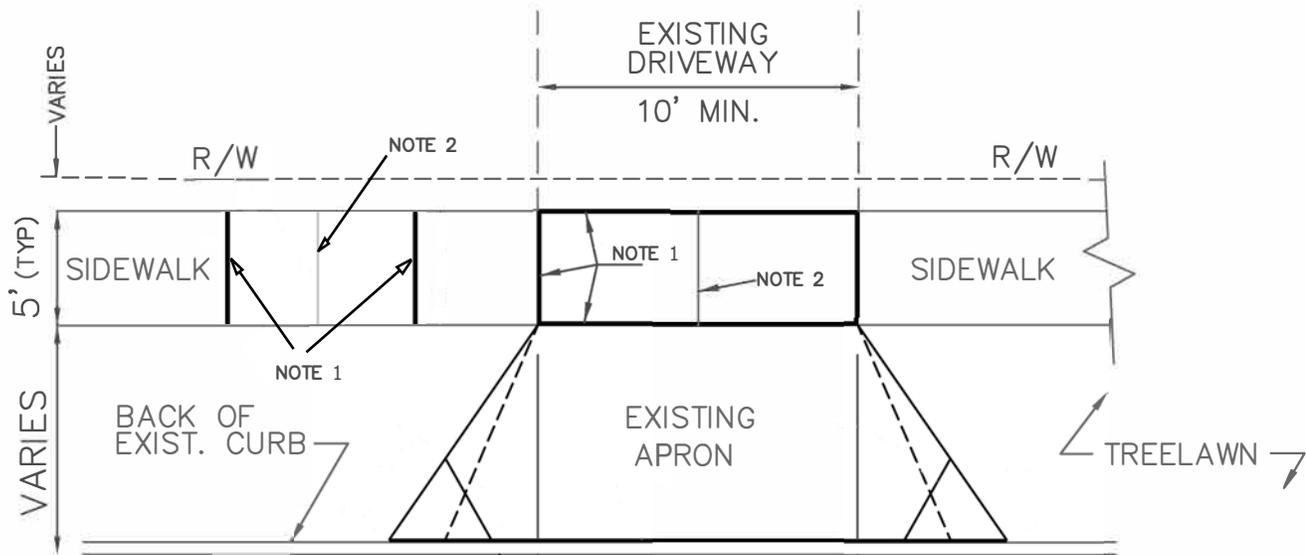
1. Upon determination that a complete submittal has been made, the Administrator shall declare the application to be officially filed and shall process the application in accordance with the procedures and timelines set forth in this Code.
2. If an application is determined to be incomplete, the Administrator shall provide written notice to the applicant along with an explanation of the application's deficiencies. No further processing of an incomplete application shall occur until the deficiencies are corrected and the Administrator determines that the application is complete.
3. If the applicant fails to correct all deficiencies and submit a complete application within 60 days of the notice provided by the Administrator, the incomplete application shall be deemed withdrawn and all fees forfeited. A new application and fee shall be required for reconsideration.

If any false or misleading information is submitted or supplied by an applicant on an application, that application shall be deemed incomplete.

Any application for development review under this Code shall be accompanied by such fee as shall be specified in Section 1105.05. No application shall be processed or determined to be complete until the established fee has been paid.

IMPORTANT: REQUIRED – APPLICANT to CALL FOR PRE-POUR INSPECTION and FINAL INSPECTION (440) 392-5935

CITY OF PAINESVILLE

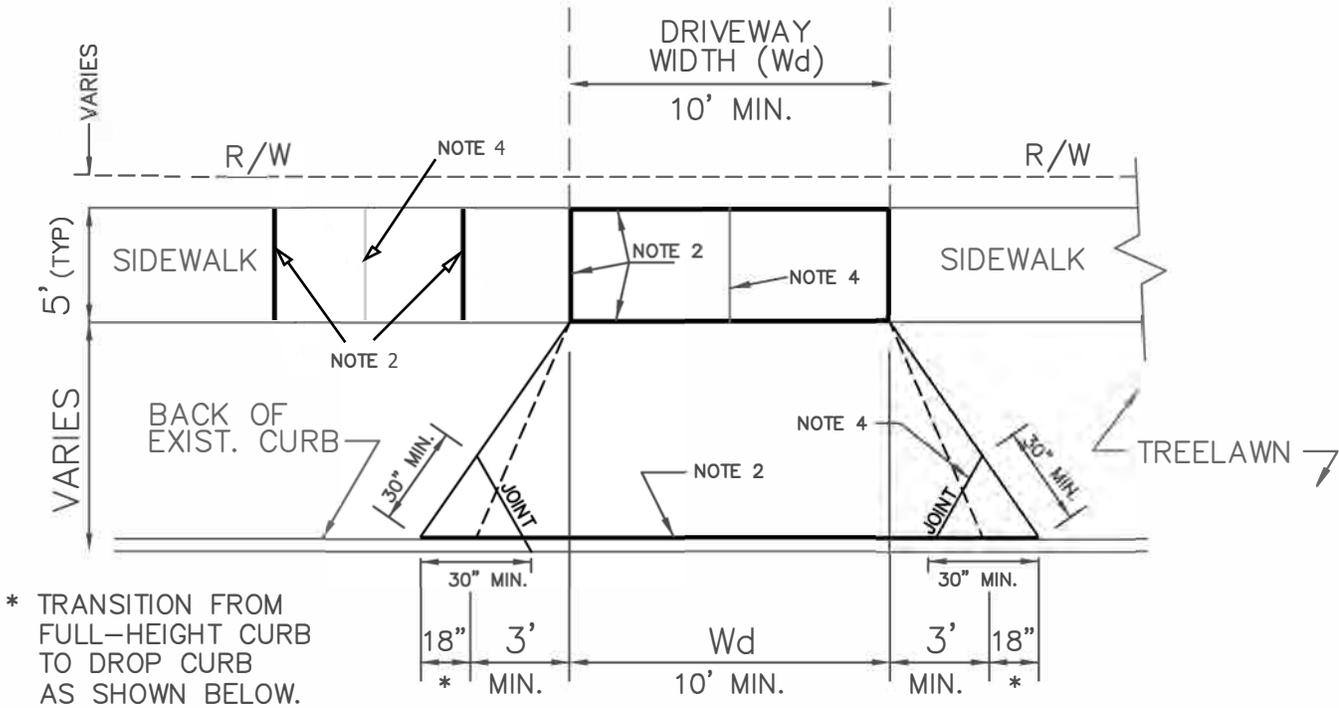


CONCRETE SIDEWALK PLAN DETAIL

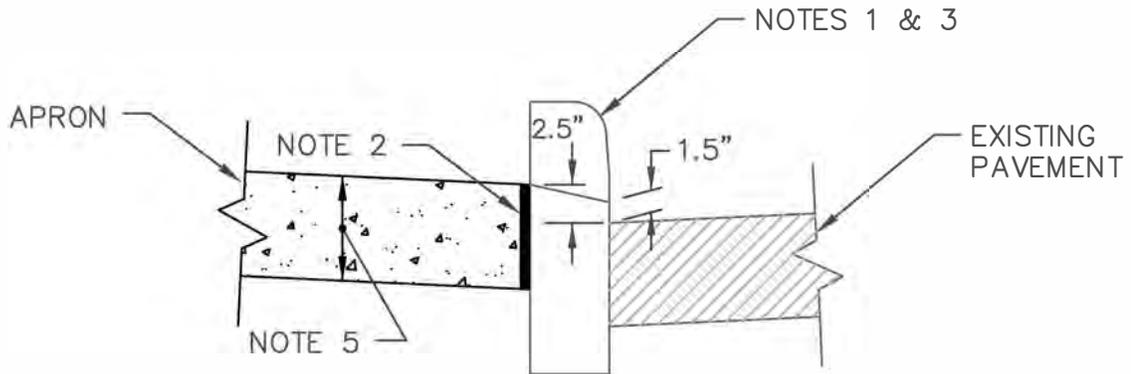
- 1) 1/2" ODOT 705.03 EXPANSION MATERIAL.
- 2) CONTROL JOINTS SHALL BE INSTALLED TO A DEPTH AS CALCULATED BY THE FORMULA "T/4" WHERE "T" REPRESENTS ANY SLAB THICKNESS IN INCHES.
 $4"/4=1"$ DEEP JOINT $6"/4 = 1-1/2"$ DEEP JOINT $8"/4 = 2"$ DEEP JOINT
- 3) ALL CONCRETE SIDEWALKS SHALL BE ODOT CLASS C (4000 PSI) MINIMUM AND SHALL BE A MINIMUM FOUR (4) INCHES THICK, SIX (6) INCHES THICK WHERE THE SIDEWALK PORTIONS ARE THROUGH DRIVEWAYS.
- 4) WIRE MESH OR FIBER MESH SHALL BE USED FOR CONCRETE REINFORCEMENT IN SIDEWALK PORTIONS THAT ARE THROUGH DRIVEWAYS.
- 5) FOUR (4) INCHES OF ODOT 304 COMPACTED LIMESTONE SUBBASE IS REQUIRED, AS DIRECTED BY THE CITY ENGINEER.
- 6) ALL WORK PRIOR TO CONCRETE POUR MUST BE INSPECTED AND APPROVED BY THE CITY ENGINEER OR REPRESENTATIVE (FORMS, REINFORCEMENT, SUBBASE, AND LOCATION).

**CONCRETE SIDEWALK
REPLACEMENT**

CITY OF PAINESVILLE



CONCRETE APRON PLAN DETAIL

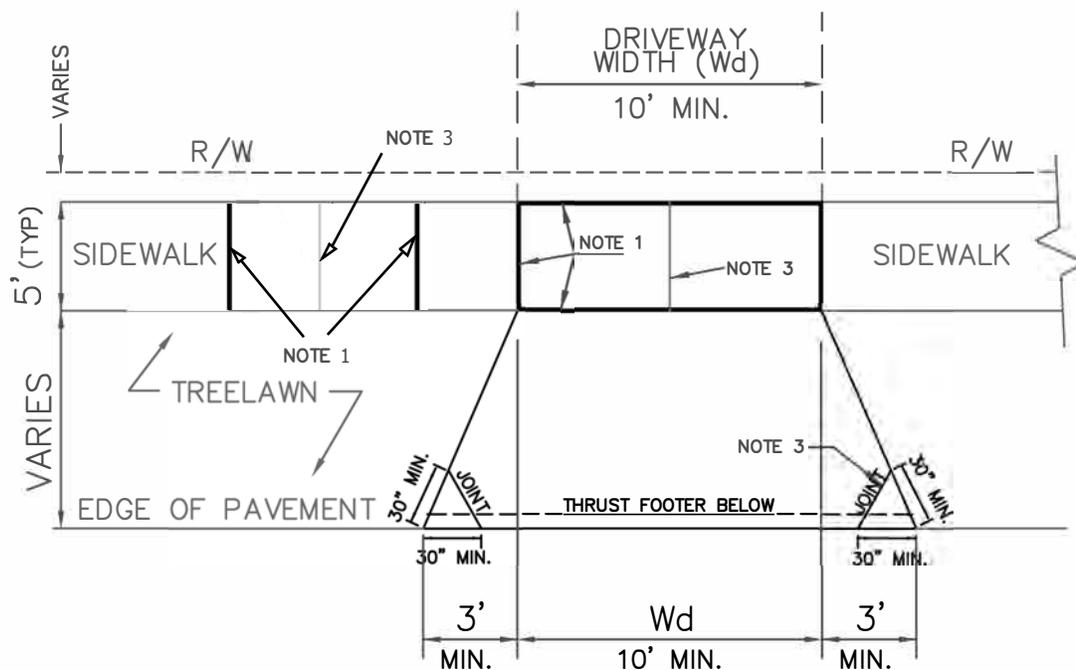


DROP CURB DETAIL

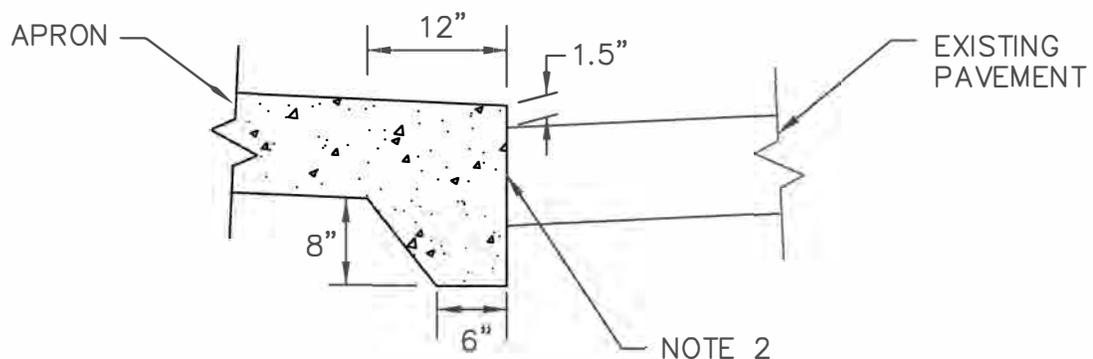
- 1) EXISTING CURBS SHALL BE HORIZONTALLY SAW-CUT AS SHOWN
- 2) 1/2" ODOT 705.03 EXPANSION MATERIAL.
- 3) THE TRANSITION FROM STANDARD VERTICAL CURB SECTION TO DROP CURB SECTION IS TO BE WITHIN A MINIMUM OF 18" OF THE DRIVEWAY THROAT.
- 4) CONTROL JOINTS SHALL BE INSTALLED TO A DEPTH AS CALCULATED BY THE FORMULA "T/4" WHERE "T" REPRESENTS ANY SLAB THICKNESS IN INCHES.
 $4"/4=1"$ DEEP JOINT $6"/4 = 1-1/2"$ DEEP JOINT $8"/4 = 2"$ DEEP JOINT
- 5) ALL CONCRETE SHALL BE ODOT CLASS C (4000 PSI) MIN. AND SHALL BE SIX (6) INCHES THICK IN RESIDENTIAL AREAS AND EIGHT (8) INCHES THICK IN COMMERCIAL/INDUSTRIAL AREAS.
- 6) WIRE MESH OR FIBER MESH SHALL BE USED FOR CONCRETE REINFORCEMENT.
- 7) FOUR (4) INCH ODOT 304 COMPACTED LIMESTONE SUBBASE IS REQUIRED, AS DIRECTED BY THE CITY ENGINEER.
- 8) ALL WORK PRIOR TO CONCRETE POUR MUST BE INSPECTED AND APPROVED BY THE CITY ENGINEER OR REPRESENTATIVE (FORMS, REINFORCEMENT, SUBBASE, AND LOCATION.)

DRIVEWAY APRON ON A CURBED PAVEMENT

CITY OF PAINESVILLE



CONCRETE APRON PLAN DETAIL



APRON SECTION DETAIL AT EDGE OF PAVEMENT

- 1) 1/2" ODOT 705.03 EXPANSION MATERIAL.
- 2) FULL-DEPTH PAVEMENT SAW-CUT.
- 3) CONTROL JOINTS SHALL BE INSTALLED TO A DEPTH AS CALCULATED BY THE FORMULA "T/4" WHERE "T" REPRESENTS ANY SLAB THICKNESS IN INCHES.
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DRIVEWAY APRON ON AN UNCURBED PAVEMENT