



THE CITY OF *Painesville*

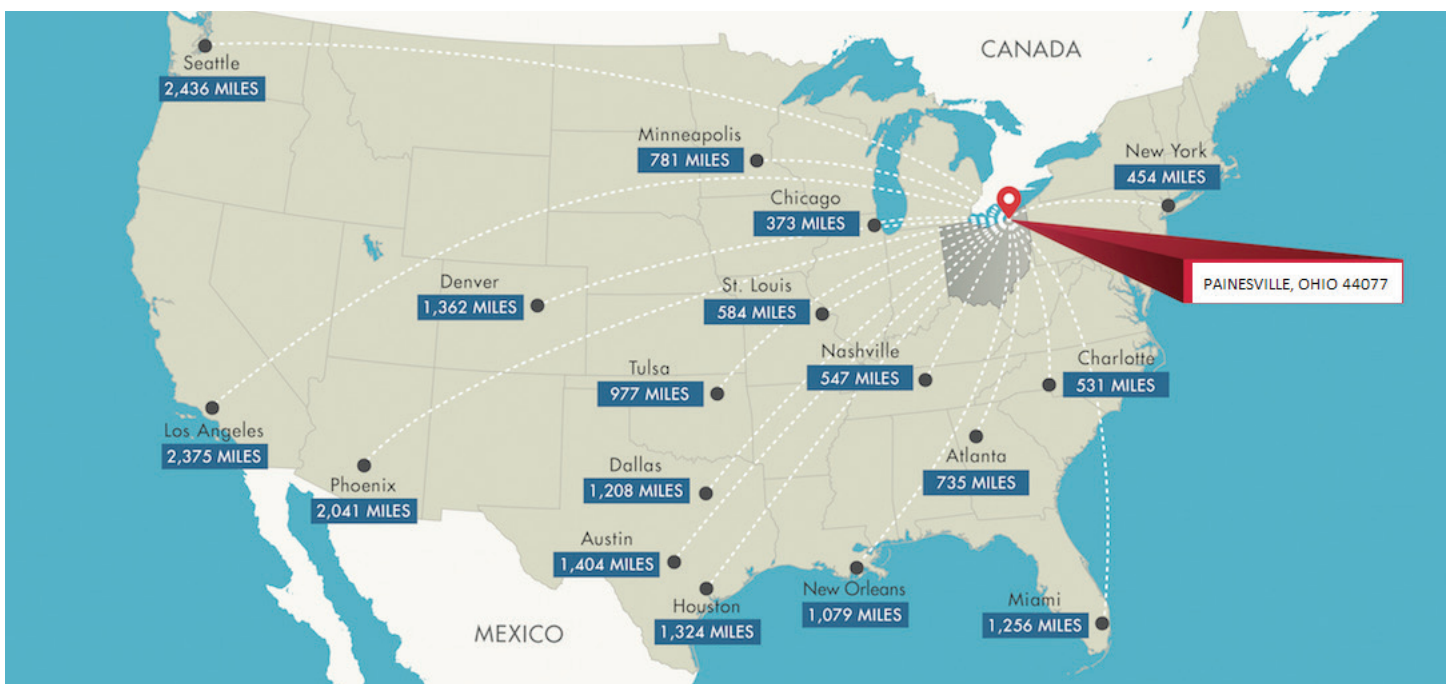
EST 1800

Welcome to the City of Painesville, home of your next business opportunity

Just 30 miles east of Cleveland and 2.5 miles south of Lake Erie on the historic Grand River, Painesville is a city that business and industry cannot afford to overlook. Painesville is home to entrepreneurial success stories, like Imax Industries, as well as national corporations, such as AeroFluid Products, and fortune 500 companies like Avery Dennison. The combination of geographic location, business and educational resources, a skilled labor force and locally

operated and owned municipal sewer, water and electric utilities, make Painesville the perfect business location in the Cleveland area. Most importantly, Painesville City is home to a progressive and pro-business City Council and City Administration with an eye toward a successful future.

From providing loan assistance to fast track permitting and infrastructure assistance, the City of Painesville is dedicated to your success. In addition to a dedicated Economic Development office, the city offers an array of other business assistance service organizations to help your transition.



Prime Retail / Office Site Development Opportunities

1. High Pointe Centre – 8 acres mixed use development, central business district
 2. Grand River Overlook – 2 acres mixed use or single use site, central business district
 3. Richmond Street Commercial Corridor - .45 acres to 3.5 acres, site specific, business district off Route 2
 4. Shamrock Boulevard – 66 acres commercial and retail development, business district off Route 2 and Route 44
- *Call for a detailed map of available development sites

Prime Industrial Development Opportunities

1. Renaissance Business Park – 30 acres of industrial land with municipal utilities and dual power redundancy.
 2. Shamrock Business Park – 50 acres of industrial land with municipal utilities.
 3. Painesville Industrial Park – 1 acre industrial site with municipal utilities.
 4. Concord/Painesville Joint Economic Development Corridor – 90 acres of industrial land.
- *Call for detailed utility capacities and main sizes.



Demographic Information

Painesville City Demographics

19,563
Population

11,857
Downtown Daytime Population

7,867
Households

\$34,831
Median Household
Income

31.5
Median Age

Trade Area Demographics

103,145
Trade Area Population

57,237
Workplace Population

40,935
Households

\$59,860
Median
Household Income

42.2
Median Age

\$30,919
Per Capita
Income



City Information

Quality of Life

- Beautiful local parks, 13 in city limits
- Historic Downtown, established in 1832
- Located along the Grand River, known for steel-head fishing
- Stunning architecture and historic Western Reserve Square
- Home of Lake Erie College, a private liberal arts school known for equestrian studies

Unique City Characteristics

- 5 new school buildings, over \$90 million in community investment
- 11% population growth recorded in the last census (2010), with one of the fastest growing downtown areas in Ohio
- A true microcosm of U.S. demographics, with a population 21% Hispanic and 13% African American
- A history of entrepreneurial spirit and thriving independent, locally-owned businesses
- Multiple Bed and Breakfasts, each with their own unique history and guest list
- The county seat of Lake County, Ohio